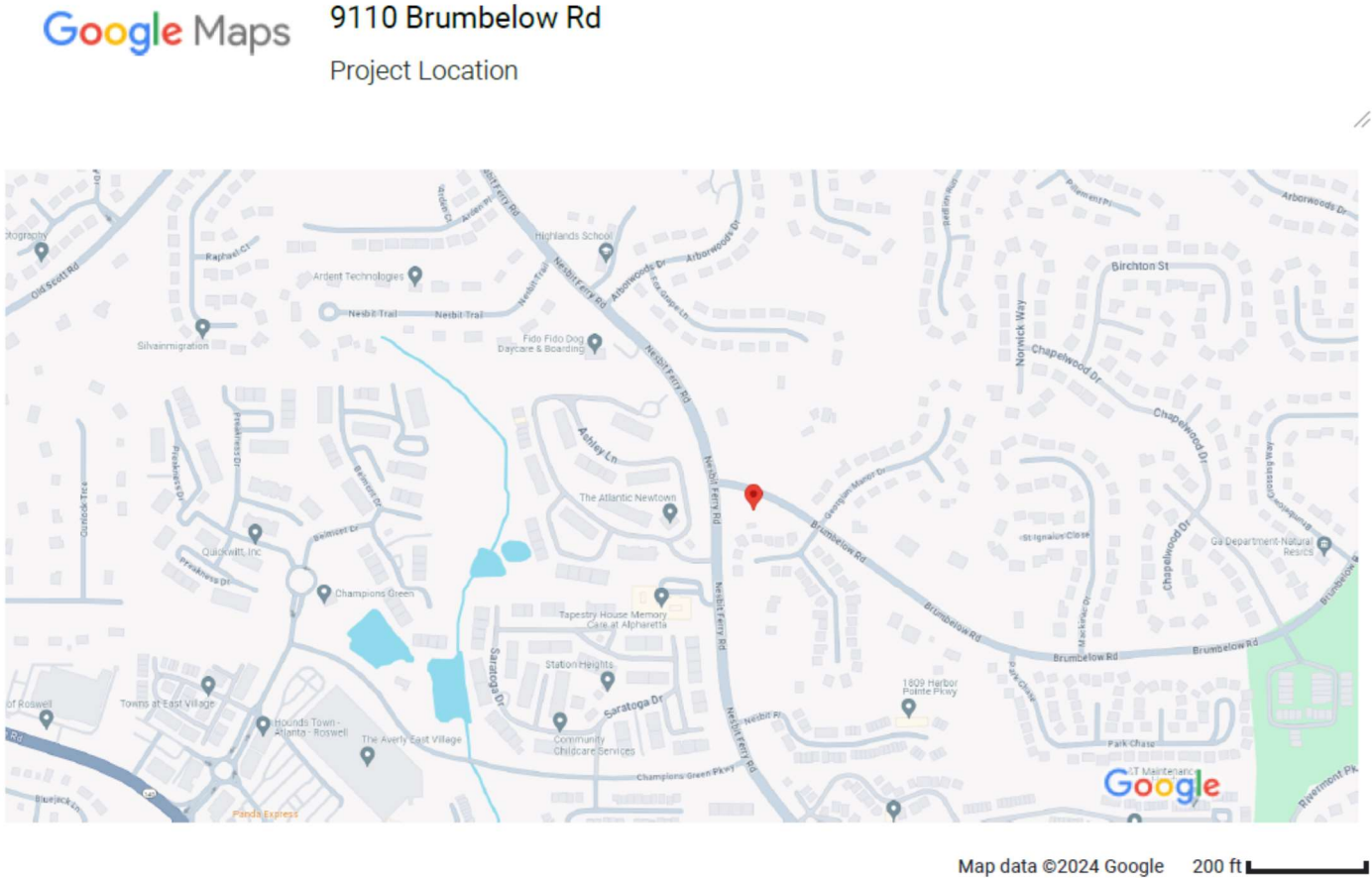


Prepared by: Planning Analytics, LLC  
**9110 Brumbelow Road Single Family Project**  
TRIP GENERATION LETTER REPORT  
Submitted August 1, 2024

**Narrative**

The Applicant is proposing to develop two single family homes on Parcel ID number 12 306008360295. This parcel consists of 0.91 acres of land and is located within the municipal limits of John’s Creek, Georgia. The parcel is located in the southeast quadrant of Nesbit Ferry Road and Brumbelow Road as illustrated in Figure 1 below.

**Figure 1. Project Location**



\*Image courtesy of Google Maps

The Applicant is proposing the construction of two single-family homes on the site (see attached concept plan).

For this trip generation letter report, ITE Land Use Code 210 was selected in order to evaluate the potential trip generation associated with the proposed development located on this parcel.

**Received  
August 6, 2024  
RZ-24-0009  
& VC-24-0006  
Planning & Zoning**

*This space intentionally left blank.*

**Trip Generation**

The tables that follow (Tables 1, 2 and 3) indicate the estimated project traffic using ITE Trip Generation 11<sup>th</sup> Edition.

**Table 1 - Daily Trip Generation Estimates**

ITE Land-Use Category	ITE Land Use (Code)	Independent Variable	Average Rate	Fitted Curve Equation	Size	Total Trips	In	Out	Pass-By Capture Rate	Pass-By Trips			Net-New Trips		
										2-Way	In	Out	2-Way	In	Out
<b>Proposed Land Use</b>															
Single-Family Detached Housing	210	Dwelling Units	9.43	NA	2	19	9	9	0%	0	0	0	19	9	9

**Table 2 - AM Peak Hour Trip Generation Estimates**

ITE Land-Use Category	ITE Land Use (Code)	Independent Variable	Average Rate	Fitted Curve Equation	Size	Total Trips	In	Out	Pass-By Capture Rate	Pass-By Trips			Net-New Trips		
										2-Way	In	Out	2-Way	In	Out
<b>Proposed Land Use</b>															
Single-Family Detached Housing	210	Dwelling Units	0.7	NA	2	2	1	1	0%	0	0	0	2	1	1

**Table 3 - PM Peak Hour Trip Generation Estimates**

ITE Land-Use Category	ITE Land Use (Code)	Independent Variable	Average Rate	Fitted Curve Equation	Size	Total Trips	In	Out	Pass-By Capture Rate	Pass-By Trips			Net-New Trips		
										2-Way	In	Out	2-Way	In	Out
<b>Proposed Land Use</b>															
Single-Family Detached Housing	210	Dwelling Units	0.94	NA	2	2	1	1	0%	0	0	0	2	1	1

**Project Access**

The Applicant proposes a single driveway connection onto Brumbelow Road.

**Conclusion**

This project is estimated to generate two (2) PM Peak-Hour trips and is not anticipated to create any significant and/or adverse impacts on the capacity of the adjacent transportation facilities. It is acknowledged that the Applicant will need to work with the City of John’s Creek and/or Fulton County staff on future ROW needs (if any) and proposed driveway connections.

**Support Documentation**

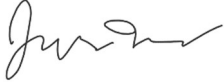
The following is a list of support documentation that has been included as a part of the Trip Generation Letter Report submittal.

1. Fulton County Board of Assessors Property Record Card for PID # 12 306008360295
2. Aerial of the Project Location
3. ITE Daily Trip Generation for LUC 210
4. ITE AM Peak-Hour Trip Generation for LUC 210
5. ITE PM Peak-Hour Trip Generation for LUC 210
6. Concept Plan

**Signature Sheet and Disclaimer**

This Trip Generation Letter Report was completed by Planning Analytics, LLC. The trip generation estimates utilized in this report are based upon Trip Generation, 11<sup>th</sup> Edition published by the Institute of Transportation Engineers. Any intersection and/or site related design features must be accepted and approved by City of John's Creek staff prior to construction.

Respectfully submitted by,



Jason Utley, AICP  
Project Manager  
Planning Analytics, LLC  
[planning.analytics@yahoo.com](mailto:planning.analytics@yahoo.com)  
941.258.5061

## Printable page

PARID: 12 306008360295  
CALDWELL HARMON W

NBHD: 2427  
0 BRUMBELOW RD

### Parcel

---

Parcel ID:	12 306008360295
Property Location:	0 BRUMBELOW RD
Unit:	
City:	JOHNS CREEK
Neighborhood:	2427
Improvement Strata:	VA
Property Class:	R3
Land Use Code:	100-Residential vacant **
Living Units:	0
Acres:	.91
Zoning:	AG1-
Location	6
Fronting:	9 - 9
Parking Type:	3-ON AND OFF STREET
Parking Quantity:	2
Street 1/Street 2:	1-Paved/-
Topo 1/Topo2/Topo3:	1-LEVEL/-/-
Util1/Util2/Util3:	2-PUBLIC WATER/5-SEPTIC/APPROVED/7-GAS

### Legal

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Tax District	57
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### Owners

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Owners:	CALDWELL HARMON W
---------	-------------------

### Mailing Address

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Address	FUL Exmp Code	ATL Exmp Code
CALDWELL HARMON W 9135 BRUMBELOW RD ALPHARETTA GA 30022-6167		

### Sales

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Sale Date:	Sale Price:
21-APR-2014	\$0
01-JAN-1988	\$0

### Sale Details

1 of 2

---

Grantor:	CALDWELL HARMON W
Grantee:	CITY OF JOHNS CREEK
Sales Date:	21-APR-2014
Sale Price Sale Validity:	T : Sale <= 1000
Sale Source:	:
Sales Type:	:
Sale Flag:	
Deed Book:	54046

Deed Page: 0477  
Deed Type: RW

Land

---

Line Number: 1  
Land Type: S - SQUARE FOOT  
Land Code: 6  
Square Feet: 39,640  
Acres: .91



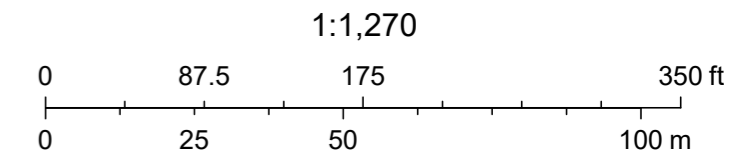
Sorry, no sketch available  
for this record

Item	Area

# 12 306008360295, 0 BRUMBELOW RD, JOHNS CREEK



August 2, 2024



Tyler\_Transportation, Tyler\_TaxParcels

# Single-Family Detached Housing (210)

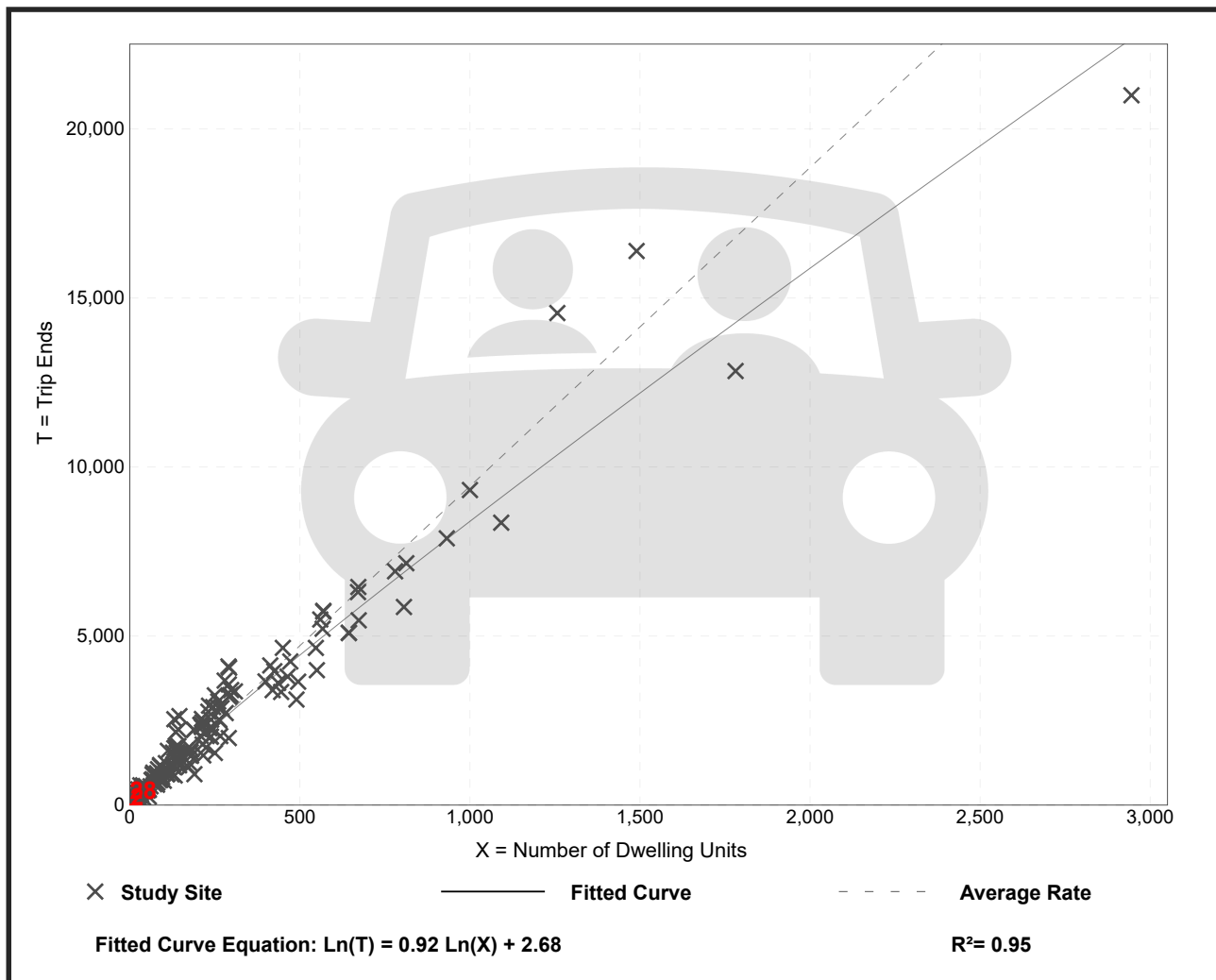
Vehicle Trip Ends vs: Dwelling Units  
On a: Weekday

Setting/Location: General Urban/Suburban  
Number of Studies: 174  
Avg. Num. of Dwelling Units: 246  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
9.43	4.45 - 22.61	2.13

## Data Plot and Equation



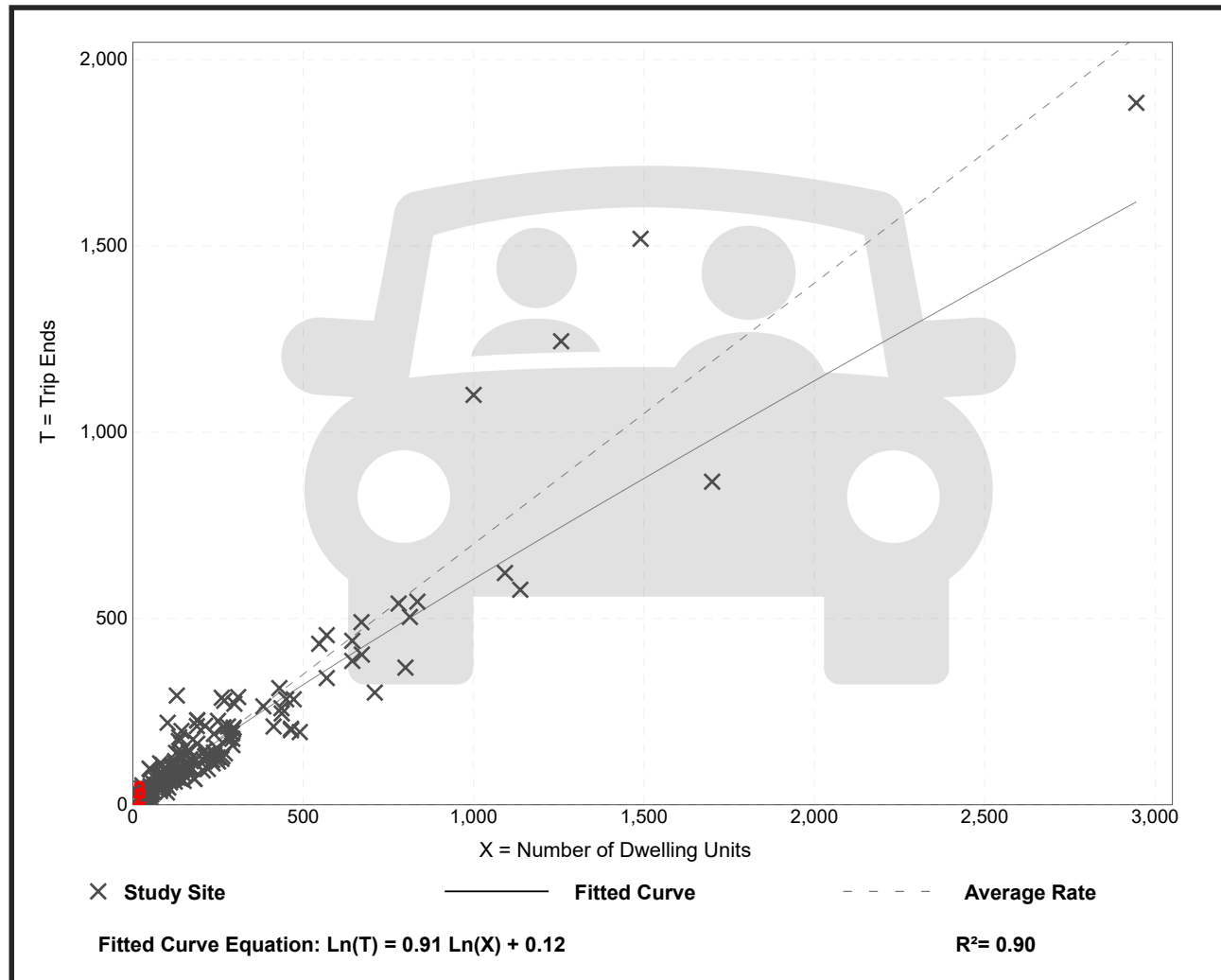
# Single-Family Detached Housing (210)

**Vehicle Trip Ends vs: Dwelling Units**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 192  
 Avg. Num. of Dwelling Units: 226  
 Directional Distribution: 25% entering, 75% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.70	0.27 - 2.27	0.24

## Data Plot and Equation





# Single-Family Detached Housing (210)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,  
Peak Hour of Adjacent Street Traffic,  
One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 208

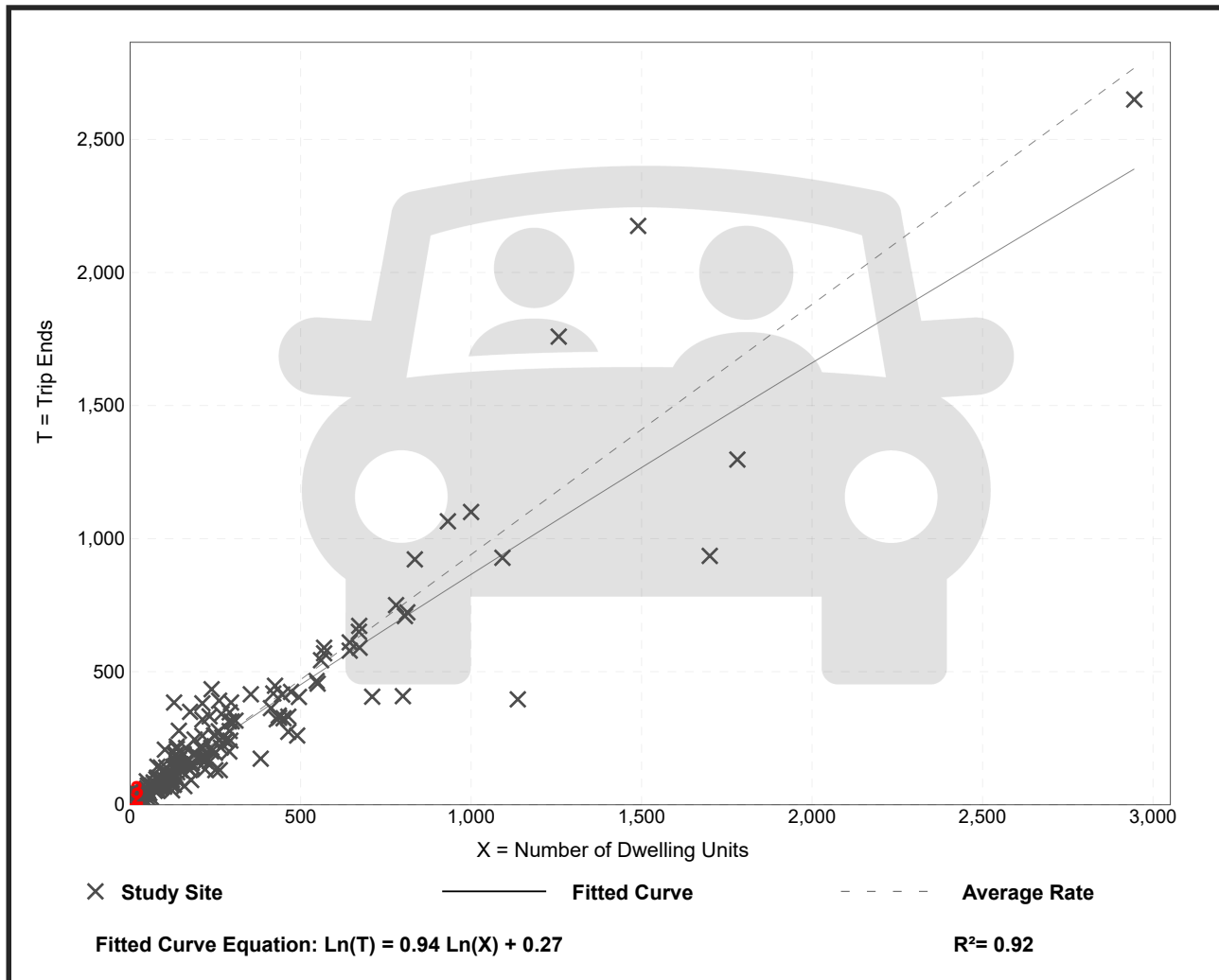
Avg. Num. of Dwelling Units: 248

Directional Distribution: 63% entering, 37% exiting

## Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.94	0.35 - 2.98	0.31

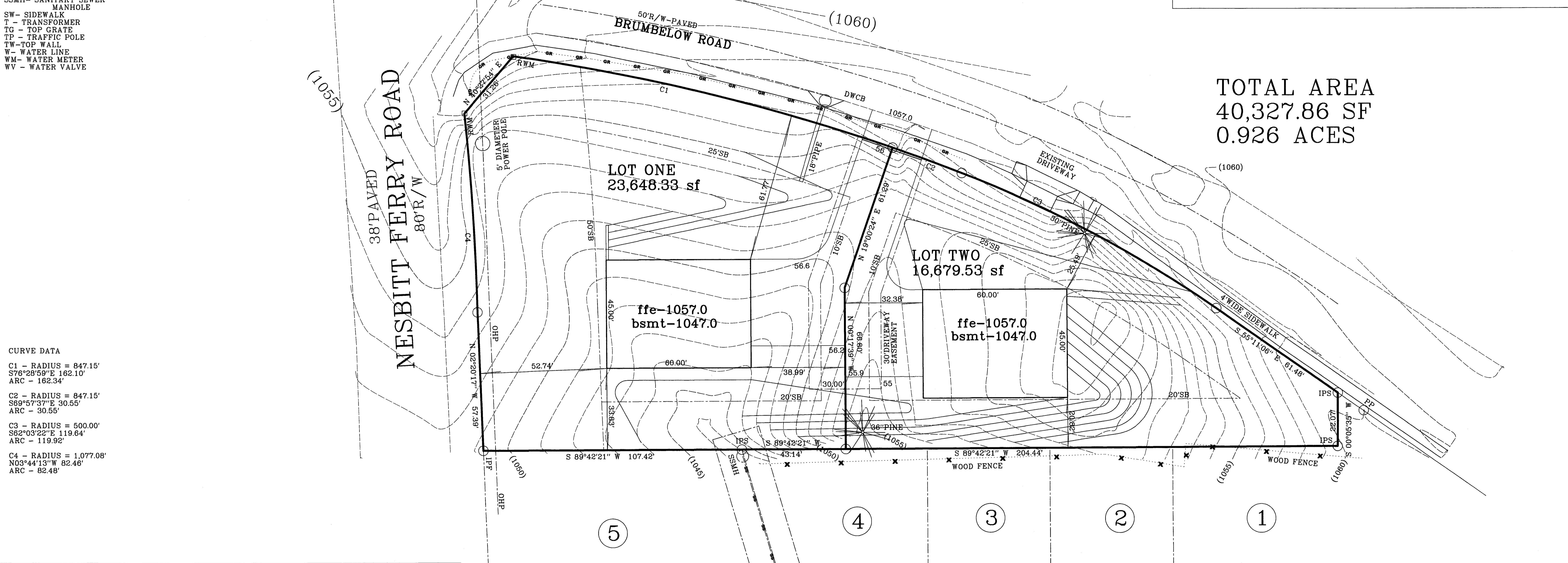
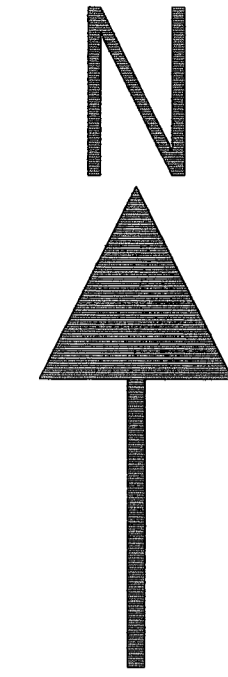
## Data Plot and Equation



- LEGEND
- BW - BOTTOM WALL
  - CO - CLEAN OUT
  - CW - CONCRETE WASHOUT
  - DE - DRAINAGE EASEMENT
  - DI - DROP INLET
  - DWCB - DOUBLE WING CATCH BASIN
  - E - UNDERGROUND ELECTRIC
  - FC - FENCE CORNER
  - FH - FIRE HYDRANT
  - G - GAS METER
  - IPF - IRON PIN FOUND
  - IPS - IRON PIN SET
  - JB - JUNCTION BOX
  - LP - LIGHT POLE
  - MH - MANHOLE
  - NS - NAIL SET
  - NF - NAIL FOUND
  - OHP - OVERHEAD POWER
  - OTP - OPEN TOP PIPE
  - POB - POINT OF BEGINNING
  - POC - POINT OF COMMENCEMENT
  - PP - POWER POLE
  - R/W - RIGHT OF WAY
  - SB - SETBACK
  - SSMH - SANITARY SEWER MANHOLE
  - SW - SIDEWALK
  - T - TRANSFORMER
  - TG - TOP GRATE
  - TP - TRAFFIC POLE
  - TW - TOP WALL
  - W - WATER LINE
  - WM - WATER METER
  - WV - WATER VALVE

SURVEYORS CERTIFICATION:  
 AS REQUIRED BY SUBSECTION(D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

MARK D PATRICK GA RLS 2791  
 1985 ELKS CLUB ROAD  
 COVINGTON, GEORGIA 30014  
 770-380-4766



TOTAL AREA  
 40,327.86 SF  
 0.926 ACES

- CURVE DATA
- C1 - RADIUS = 847.15'  
 S78°28'59"E 162.10'  
 ARC - 182.34'
  - C2 - RADIUS = 847.15'  
 S69°57'37"E 30.55'  
 ARC - 30.55'
  - C3 - RADIUS = 500.00'  
 S62°03'22"E 119.64'  
 ARC - 119.92'
  - C4 - RADIUS = 1,077.08'  
 N03°44'13"W 82.46'  
 ARC - 82.48'

SITE PLAN FOR:  
**JAY VASAVADA**  
 LAND LOT 836 - FIRST DISTRICT  
**FULTON COUNTY, GEORGIA**

DATE: JULY 29, 2024  
 SCALE: 1" = 40'

