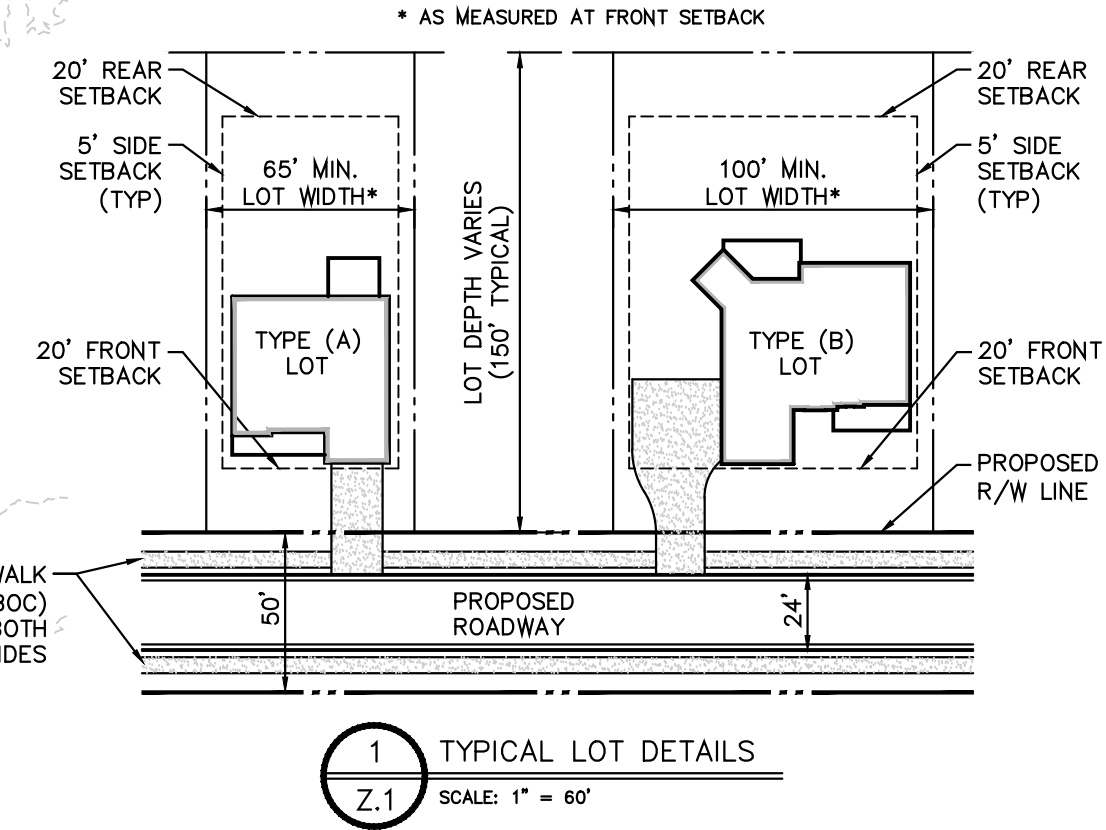
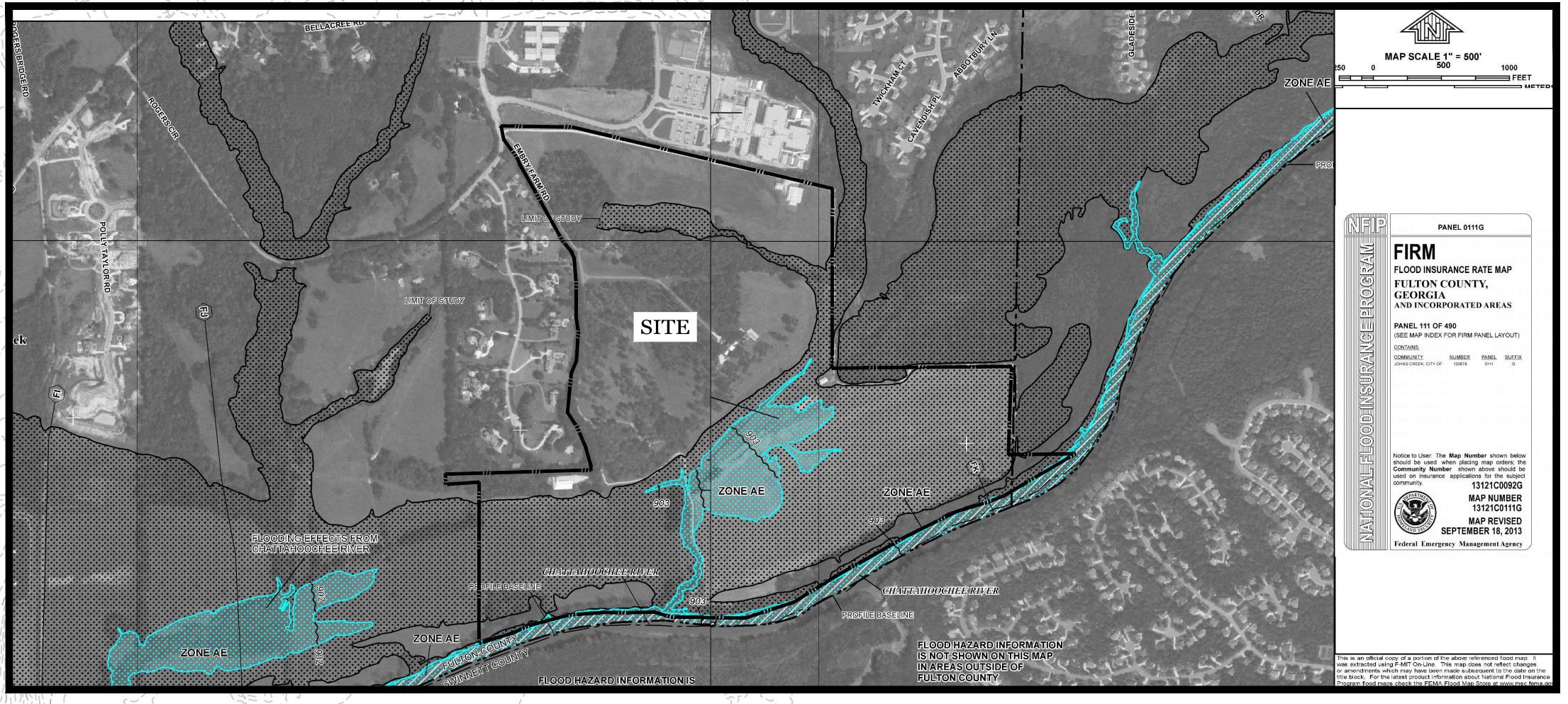


SITE LEGEND

- 100 YR FLOODPLAIN (ZONE AE) APPROX. PER FEMA MAP
- 100 YR FLOODPLAIN (ZONE AE) FOR FIELD RUN TOPO
- FLOODWAY APPROX. PER FEMA MAP
- STREAM CENTERLINE
- 50' CITY UNDISTURBED VEGETATIVE BUFFER (AS MEASURED FROM POINT OF WRESTED VEGETATION)
- 25' CITY NON-IMPERVIOUS SETBACK (AS MEASURED FROM 50' BUFFER)
- 50' ARC/MRPA UNDISTURBED VEGETATIVE BUFFER (AS MEASURED FROM POINT OF WRESTED VEGETATION)
- 100' ARC/MRPA NON-IMPERVIOUS SETBACK (AS MEASURED FROM 50' BUFFER)
- ARC/MRPA 2000 FT CHATTAHOOCHEE CORRIDOR



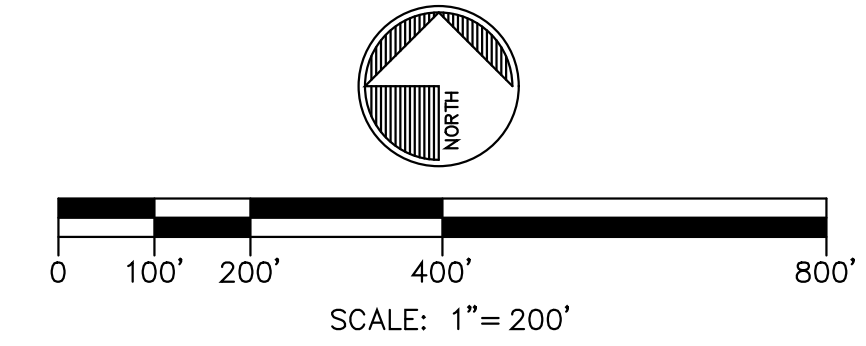
- PLAN NOTES:**
- BOUNDARY INFORMATION TAKEN FROM ALTA/NSPS LAND TITLE SURVEY FOR TOLL SOUTHEAST LP COMPANY, INC. AND FIRST AMERICAN TITLE INSURANCE COMPANY BY TRAVIS FRUIT & ASSOCIATES DATED 07/08/2024. REFER TO ALTA SURVEY FOR LOCATION OF OVERHEAD UTILITIES ON-SITE. TOPOGRAPHY FROM FULTON GIS WITH FIELD RUN TOPO SOUTH OF EXISTING SEWER EASEMENT. APPROX. ADJACENT STRUCTURES & TREE LINE SHOWN BASED UPON AERIAL PHOTOGRAPHY.
 - EXISTING ZONING: AG-1 CUP
 - PROPERTY IS LOCATED OFF ROGERS CIRCLE IN LAND LOTS 478-480, 497-499, F-52 THRU F-56, 1ST DISTRICT, 1ST SECTION, CITY OF JOHNS CREEK, FULTON COUNTY, GEORGIA.
 - TOTAL SITE AREA = 204.10 ACRES± (REFER TO SITE ANALYSIS)
 - THIS PROPERTY CONTAINS A 100 YEAR FLOOD HAZARD AREA BASED ON FIRM MAP NUMBER 13121C0092G, DATED SEPTEMBER 18, 2013 (SEE FLOOD MAP THIS SHEET).
 - THIS PROPERTY CONTAINS BUFFERED STATE WATERS & JURISDICTIONAL WETLANDS AS FIELD DELINEATED BY CORBLU ECOLOGY GROUP.
 - A PORTION OF THIS PROPERTY FALLS WITHIN THE ARC/MRPA 2000 FT CHATTAHOOCHEE CORRIDOR AS DELINEATED ON THE PLAN.
 - PROPOSED DEVELOPMENT TO TIE TO EXISTING SANITARY SEWER OUTFALL LINE (SERVICE PROVIDED BY FULTON COUNTY).
 - STORMWATER MANAGEMENT TO BE PROVIDED IN ACCORDANCE WITH GEORGIA STORMWATER MANAGEMENT MANUAL. SOME SUBSURFACE WATER QUALITY MEASURES MAY BE UTILIZED (SUBJECT TO FINAL DESIGN).
 - PARKING SUMMARY:**
REQUIRED SPACES (2 SPACES/DWELLING UNIT) 410 SPACES REQUIRED
PROPOSED SPACES* 410 SPACES PROVIDED
*ALL PROPOSED HOMES TO HAVE A 2 CAR GARAGE.
NOTE: AMENITY AREA PARKING SUBJECT TO FINAL LAYOUT.

SITE ANALYSIS

TOTAL SITE AREA	204.10 ACRES±
LOTS PROPOSED (A) 65' WIDE FRONT ENTRY DETACHED	88 LOTS
(B) 100' WIDE SIDE ENTRY DETACHED	117 LOTS
TOTAL	205 LOTS
DENSITY PROPOSED	1.00 UNITS/AC
CUP ZONING CRITERIA	
MINIMUM LOT WIDTH (DETACHED)	65 FEET
MINIMUM LOT AREA (DETACHED)	8,000 S.F.
MIN. HEATED S.F.	1,100 S.F.
MAXIMUM BUILDING HEIGHT	40 FEET
MINIMUM LOT FRONTAGE	35 FEET
BUILDING SETBACKS	
FRONT	20 FEET
SIDE	5 FEET
CORNER SIDE	10 FEET
REAR	20 FEET
LANDSCAPE STRIPS	
ROGERS BRIDGE CIRCLE	25 FEET
WEST PL AGAINST S/D AS SHOWN	50 FEET
OPEN SPACE SUMMARY	
SUBDIVISION OPEN SPACE	55.6 AC± (27.2%)
CITY PARK AREA OPEN SPACE	59.0 AC± (28.9%)
TOTAL OPEN SPACE	114.6 AC± (56.1%)
PROPOSED CITY PARK AREA*	63 ACRES±

* FINAL CITY PARK AREA TBD (AREA INCLUDES THE CITY PARK OPEN SPACE NOTED ABOVE & DELINEATED ON THE PLAN + ACCESS ROAD RIGHT-OF-WAY)

Received
August 6, 2024
RZ-24-0010
Planning & Zoning



CP & E
CHRISTOPHER PLANNING & ENGINEERING

REGISTERED PROFESSIONAL ENGINEER
No. 02888
7/29/2024

GSWCC LEVEL II CERTIFIED
DESIGN PROFESSIONAL #05744
(EXP. 03.21.2027)

12460 CRABAPPLE ROAD, SUITE 202-612
ALPHARETTA, GA 30004
PHONE 770.331.7303

ZONING SITE PLAN
FOR:
EMBRY TRACT
AT ROGERS CIRCLE

LAND LOTS 478-480, 497-499, & F-42 THRU F-56, 1ST DISTRICT, 1ST SECTION, CITY OF JOHNS CREEK, FULTON COUNTY, GEORGIA

FOR:
Toll Brothers
AMERICA'S LUXURY HOME BUILDER

2400 LAKEVIEW PARKWAY
SUITE 650
ALPHARETTA, GA 30009

CONTACT:
MR. J.R. CROWE
678.699.1403

REVISIONS

1	12.07.2023	CLIENT COMMENTS
2	07.15.2024	CLIENT/CITY COMMENTS
3	07.26.2024	CLIENT/CITY COMMENTS
4	08.05.2024	CLIENT/CITY COMMENTS

DATE: DECEMBER 4, 2023 CP&E DRAWING NO: 2023164cp1.dwg

ZONING SITE PLAN

SHEET NO. **Z.1**