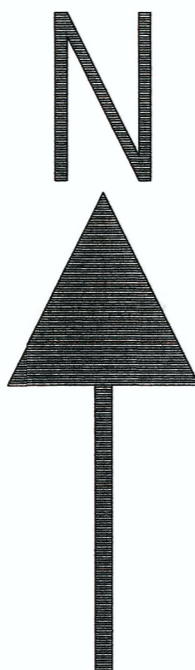


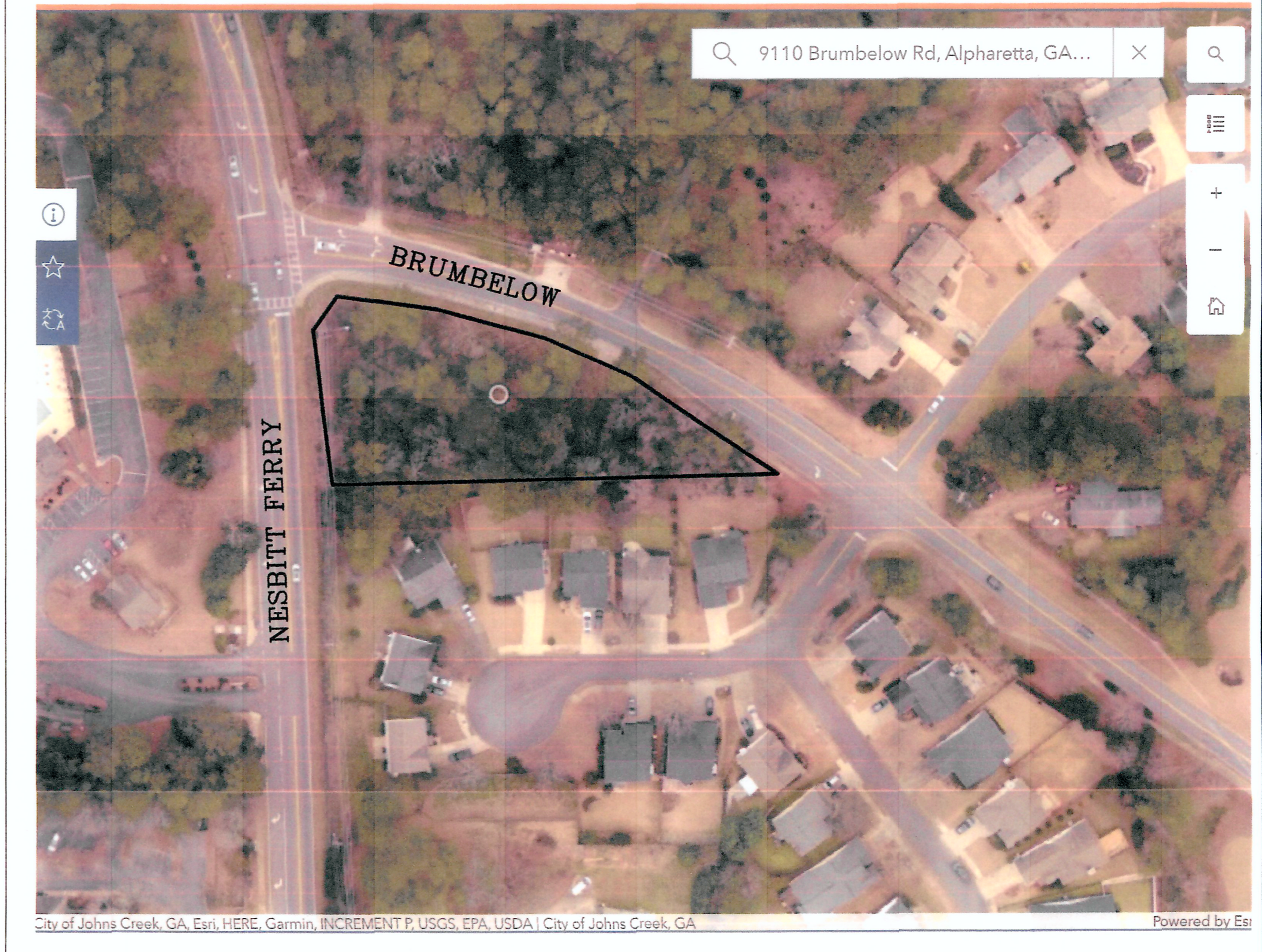
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| <b>SITE DATA</b>   |
| SITE AREA - 40,327.86 SF / 0.926 ACRES                         |
| <b>ZONNG</b>   |
| EXISTING ZONING AG1  |
| PROPOSED ZONING - R4-A   |
| ZONING JURISDICTION - CITY OF JOHNS CREEK, GEORGIA             |
| LAND LOT 836 - FIRST DISTRICT - SECOND SECTION                 |
| <b>USE CALCULATIONS</b>  |
| MAXIMUM ALLOWABLE DENSITY - 3.6 UNITS PER ACRE                 |
| BUILDABLE AREA - 67% (27,000 SF)                               |
| TOTAL SITE AREA - 0.926 ACRES (40,327.86SF)                    |
| TOTAL PROPOSED DENSITY - 2.16 UNITS PER ACRE                   |
| <b>SETBACK REQUIREMENTS</b>                                    |
| FRONT SETBACK - 35 FEET  |
| SIDE/ SIDE CORNER SETBACK - 7 FEET / 20 FEET                   |
| REAR SETBACK - 25 FEET   |
| LANDSCAPE STRP ALONG STREET FRONTAGE - 25 FEET ALONG BRUMBELOW |
| 30 FEET ALONG NESBITT FERRY                                    |
| <b>DEVELOPMENT STANDARDS</b>                                   |
| DETACHED SINGLE FAMILY LOTS PROVIDED 2 LOTS                    |
| MAXIMUM BUILDING HEIGHT - 40'                                  |
| MINIMUM LOT AREA - 12,000 SF                                   |
| LOT SIZE RANGE - LOT ONE - 19,972.66 SF                        |
| LOT TWO - 20,355.20 SF   |
| MINIMUM LOT WIDTH - 85'  |
| <b>OPEN SPACE CALCULATIONS</b>                                 |
| OPEN SPACE REQUIRED = 10%                                      |
| REQUEST TO ELIMINATE OPEN SPACE REQUIREMENT                    |
| <b>PARKING REQUIREMENTS</b>                                    |
| TOTAL PARKING REQUIRED - (4) 2 SPACES PER DWELLING UNIT        |
| TOTAL PARKING PROVIDED - (6) THREE CAR GARAGES                 |



WATER AND SEWER IS AVAILABLE TO THE SITE  
 WATER AND SEWER SERVICE PROVIDED BY FULTON COUNTY  
 LOTS ONE AND TWO WILL FRONT BRUMBELOW

Received  
 August 6, 2024  
 RZ-24-0009 &  
 VC-24-0006  
 Planning & Zoning

- LEGEND
- BW - BOTTOM WALL
  - CO - CLEAN OUT
  - CW - CONCRETE WASHOUT
  - DE - DRAINAGE EASEMENT
  - DI - DROP INLET
  - DWCB - DOUBLE WING CATCH BASIN
  - E - UNDERGROUND ELECTRIC
  - FC - FENCE CORNER
  - FH - FIRE HYDRANT
  - G - GAS METER
  - IPF - IRON PIN FOUND
  - IPS - IRON PIN SET
  - JB - JUNCTION BOX
  - LP - LIGHT POLE
  - MH - MANHOLE
  - NS - NAIL SET
  - NF - NAIL FOUND
  - OHP - OVERHEAD POWER
  - OTP - OPEN TOP PIPE
  - PDB - POINT OF BEGINNING
  - POC - POINT OF COMMENCEMENT
  - PP - POWER POLE
  - R/W - RIGHT OF WAY
  - SB - SETBACK
  - SSMH - SANITARY SEWER MANHOLE
  - SW - SIDEWALK
  - T - TRANSFORMER
  - TC - TOP GRATE
  - TP - TRAFFIC POLE
  - TW - TOP WALL
  - W - WATER LINE
  - WM - WATER METER
  - WV - WATER VALVE



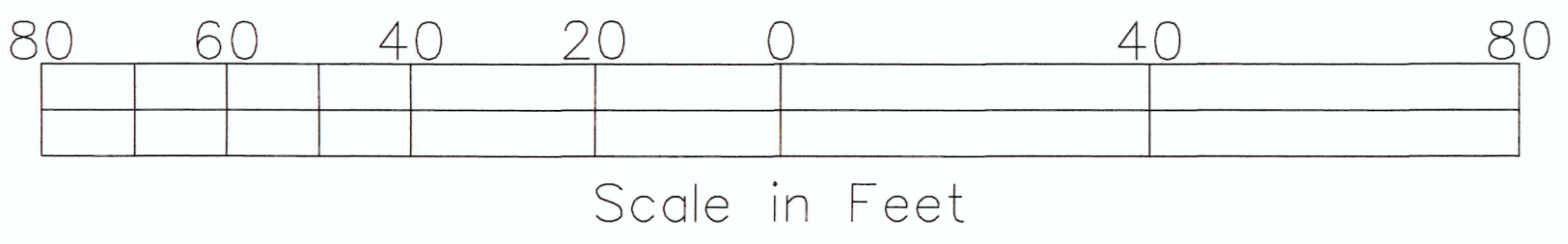
SURVEYORS CERTIFICATION:  
 AS REQUIRED BY SUBSECTION(D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

*Mark D. Patrick* 8/6/2024  
 MARK D PATRICK GA RLS 2791  
 1985 ELKS CLUB ROAD  
 COVINGTON, GEORGIA 30014  
 770-380-4766



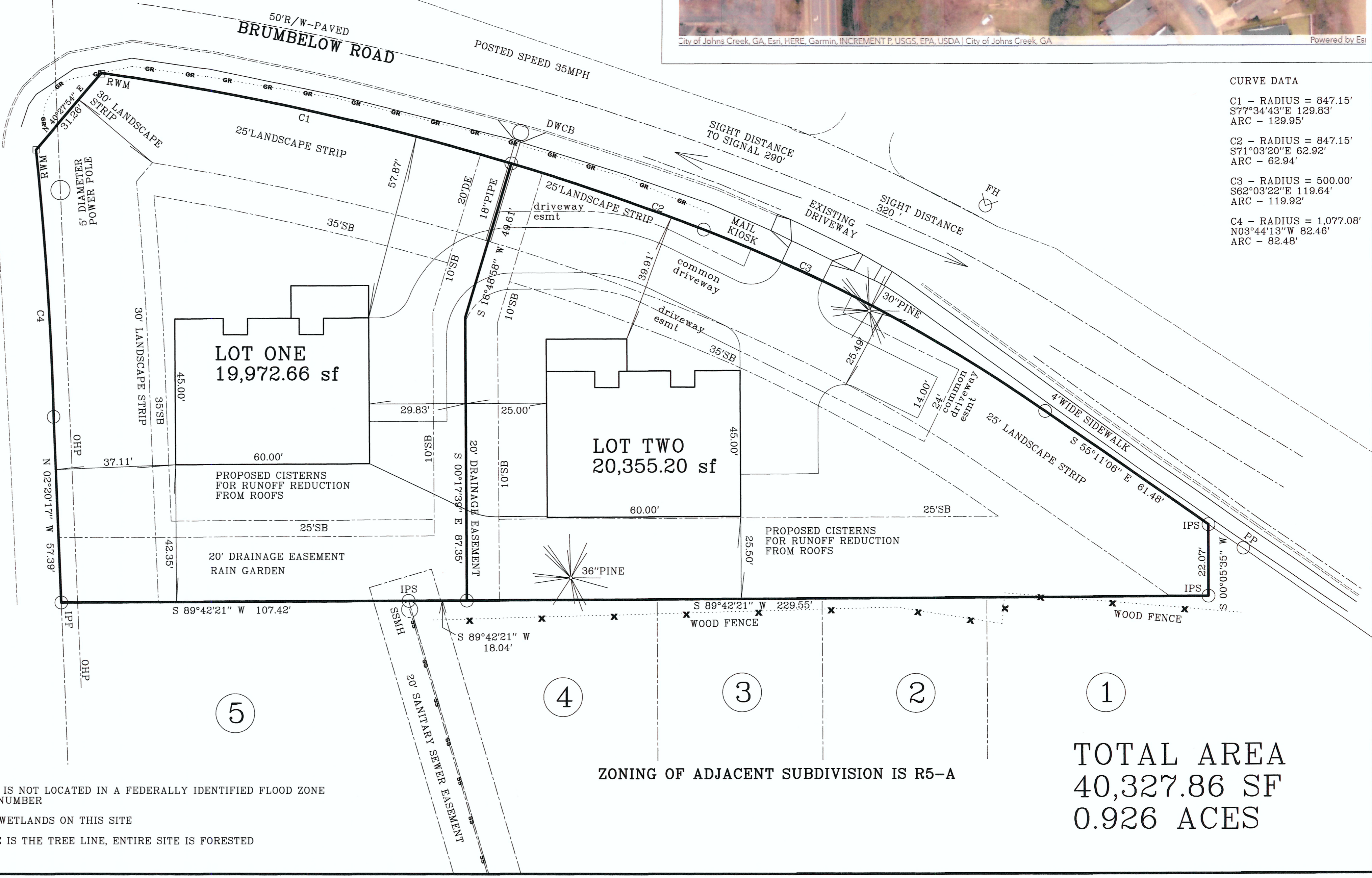
SITE PLAN FOR:  
**JAY VASAVADA**  
 LAND LOT 836 - FIRST DISTRICT - SECOND SECTION  
**FULTON COUNTY, GEORGIA**

DATE: AUGUST 8, 2024  
 SCALE: 1" = 20'



38' PAVED  
 NESBITT FERRY ROAD  
 80' R/W

POSTED SPEED 40MPH



CURVE DATA

|                         |
|-------------------------|
| C1 - RADIUS = 847.15'   |
| S77°34'43"E 129.83'     |
| ARC - 129.95'           |
| C2 - RADIUS = 847.15'   |
| S71°03'20"E 62.92'      |
| ARC - 62.94'            |
| C3 - RADIUS = 500.00'   |
| S62°03'22"E 119.64'     |
| ARC - 119.92'           |
| C4 - RADIUS = 1,077.08' |
| N03°44'13"W 82.46'      |
| ARC - 82.48'            |

THIS PROPERTY IS NOT LOCATED IN A FEDERALLY IDENTIFIED FLOOD ZONE AS PER PANEL NUMBER  
 THERE ARE NO WETLANDS ON THIS SITE  
 PROPERTY LINE IS THE TREE LINE, ENTIRE SITE IS FORESTED

ZONING OF ADJACENT SUBDIVISION IS R5-A

TOTAL AREA  
 40,327.86 SF  
 0.926 ACES