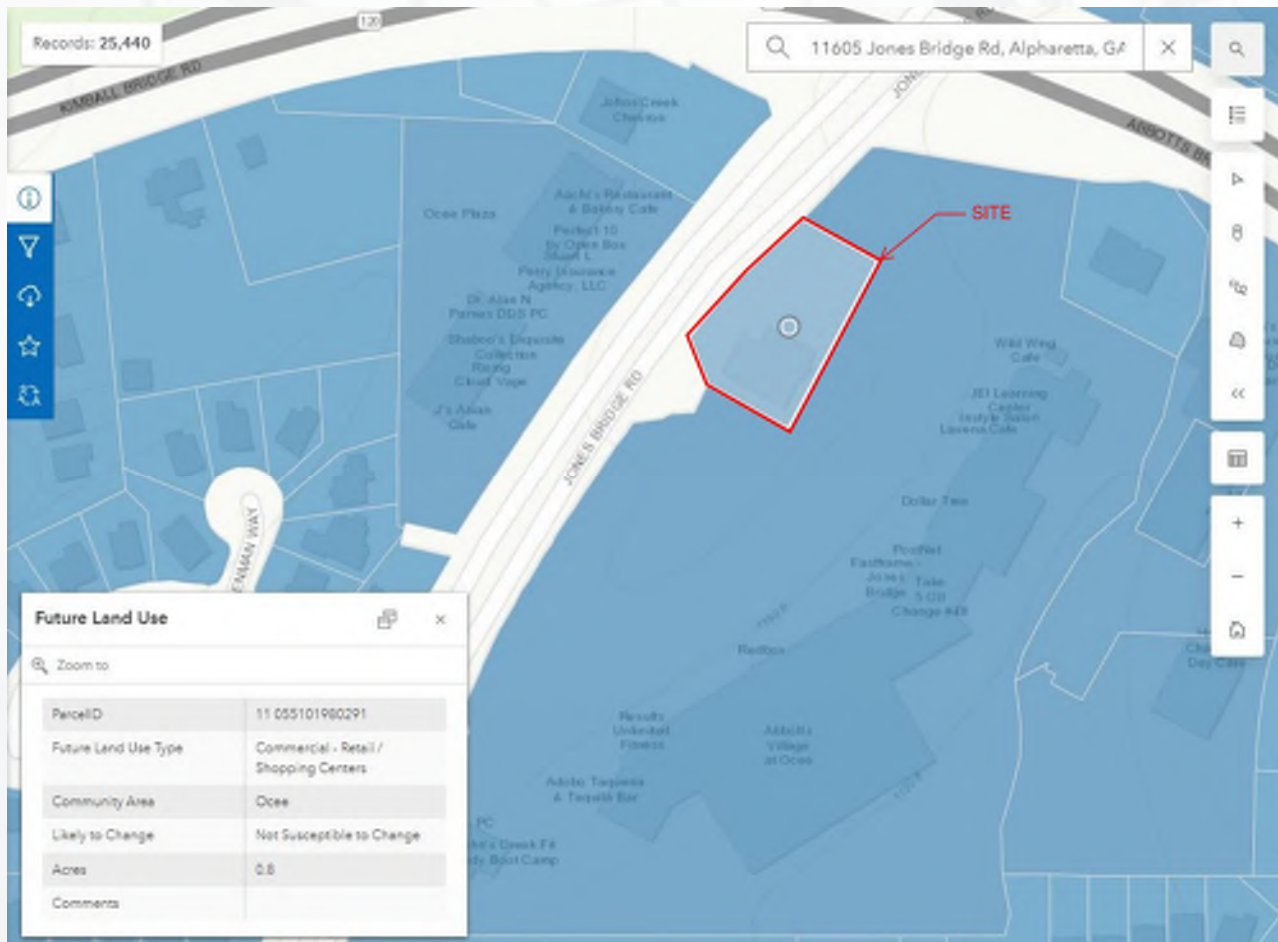


## Environmental Site Analysis (ESA) Form

### 1. CONFORMANCE WITH THE COMPREHENSIVE PLAN

Site is located at 11605 Jones Bridge Road, Johns Creek, GA 30022, which is an outparcel of the nearby Publix Super Market at Abbotts Village at Ocoee. Currently, a “Carpet Hardwood Tile” store is located at this parcel. Proposed is a demolition of the existing building and construction of a Dunkin’ Restaurant with drive thru service.

Adjacent to the property are Jones Bridge Rd. and the parking lot for the Publix shopping center. The lot is currently zoned C-1, Community Business, and the surrounding parcels are also commercial establishments. Future Land use for the parcel is also Commercial, and the site will conform with the Comprehensive Land Use Plan (see map below). The site is located in an area of minimal flood hazard according to FEMA flood map #13121C0079F effective 9/18/2023 and there are no streams on-site or adjacent to the side. No environmental impact is anticipated. This site will utilize the retaining pond of the nearby Publix shopping center, and water quality will be provided.



## **2. ENVIRONMENTAL IMPACTS OF THE PROPOSED PROJECT**

- a. Wetlands – No wetlands present.
- b. Floodplain - Located in an area of minimal flood hazard according to FEMA flood map #13121C0079F effective 9/18/2023.
- c. Streams/Stream Buffers – No streams or stream buffers are present on the site.
- d. Slopes Exceeding 25 Percent over a 10-Foot Rise in Elevation – There are no slopes exceeding 25% are present. A retaining wall is present along the property boundary at Jones Bridge Road.
- e. Vegetation – Some existing trees are present along the property boundary and will be preserved whenever possible. A Landscape Plan will be designed for the property, which will include a planting schedule.
- f. Wildlife Species (Including Fish) – No wildlife species are present.
- g. Archaeological/Historical Sites – No Archaeological or Historical Sites are present.

## **3. PROJECT IMPLEMENTATION MEASURES**

- a. Protection of environmentally sensitive areas, i.e., floodplain, slopes exceeding 25 percent, and river corridors will not be required, since these conditions are not present.
- b. Protection of water quality will be provided with Oldcastle Filter Baskets, as shown on the plans.
- c. Minimization of negative impacts on existing infrastructure will be provided with Erosion Control measures that comply with GSWCC.
- d. Minimization of archaeologically/historically significant areas will not be required since these conditions are not present.
- e. Minimization of negative impacts on environmentally stressed communities will not be required, because there are no environmentally stressed communities present.
- f. Creation and preservation of green space and open space will be provided on the Landscape Plan.
- g. Protection of citizens from the negative impacts of noise and lighting will be provided. The Photometric Plan will minimize the negative impacts from lighting, and negative impacts from noise are not anticipated in the commercial area.
- h. Protection of parks and recreational green space will not be required since these conditions are not present.

- i. Minimization of impacts to wildlife habitats will not be required, since no wildlife habitats are present.

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